

**SEMINOLE COUNTY GOVERNMENT
LAND PLANNING AGENCY / PLANNING AND ZONING COMMISSION
AGENDA MEMORANDUM**

SUBJECT: Red Bug Road / Cooper Townhomes, Large Scale Land Use
Amendment from Low Density Residential (LDR) to Medium Density
Residential (MDR); and rezoning from A-1 to R-3A (Jim Cooper,
Applicant).

DEPARTMENT: Planning & Development **DIVISION:** Planning

AUTHORIZED BY: Matthew West **CONTACT:** Jeff Hopper **EXT** 7431

Agenda Date 12/01/04 **Regular** ☐ **Work Session** ☐ **Briefing** ☐
Special Hearing – 6:00 ☐ **Public Hearing – 7:00** ☒

MOTION/RECOMMENDATION:

1. Recommend APPROVAL of the request for Large Scale Land Use Amendment from Low Density Residential (LDR) to Medium Density Residential (MDR), and rezone from A-1 to R-3A, per the attached staff report, on 20.12 acres located on the north side of East Red Bug Road, ¼ mile west of SR 434 (Jim Cooper, applicant); or
2. Recommend DENIAL of the request for Large Scale Land Use Amendment from Low Density Residential (LDR) to Medium Density Residential (MDR), and rezone from A-1 to R-3A, on 20.12 acres located on the north side of East Red Bug Road, ¼ mile west of SR 434 (Jim Cooper, applicant); or
3. CONTINUE the public hearing until a time and date certain.

(District 1 – Comm. Dallari)

(Jeff Hopper, Senior Planner)

BACKGROUND:

The applicant proposes a 74-unit townhouse development on a 20-acre site on East Red Bug Road, at a density of 7.7 units per net buildable acre. The subject property includes several acres of wetlands, which will be preserved through a conservation easement dedicated to the county. Also provided within the site will be a 2.3 acre upland preservation area which will be available for use as common open space for residents of the development.

The developed portion of the site will consist of fee-simple units on 22-foot lots. Access will be from East Red Bug Road, currently an unimproved right-of-way, connecting the site with

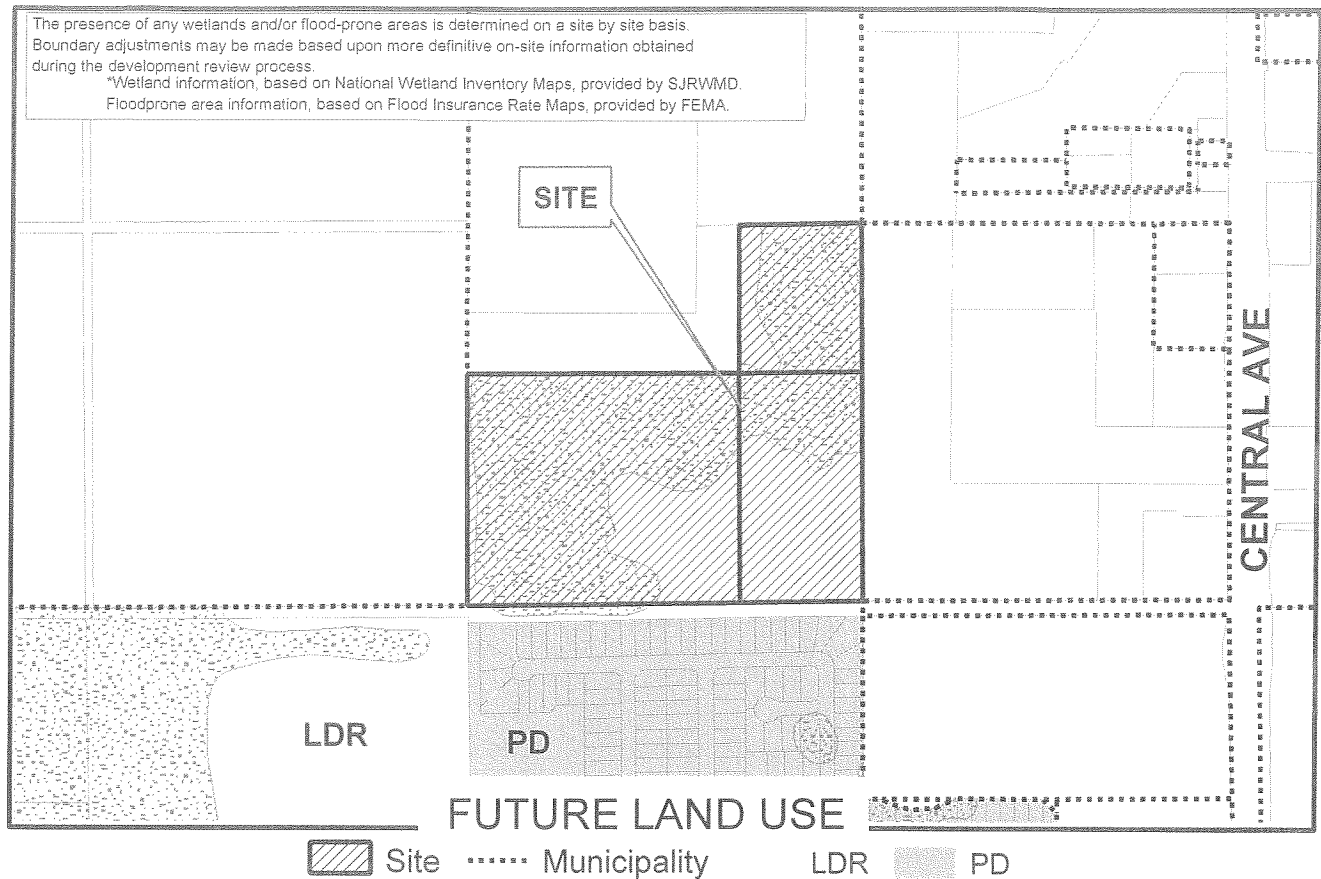
Reviewed by:	<u>KR</u>
Co Atty:	_____
DFS:	_____
OTHER:	_____
DCM:	_____
CM:	_____
File No.	<u>Z2004-050,</u> <u>05S.FLU01</u>

SR 434 to the east. A total of 79 parking spaces are provided for guest parking, in addition to those in garages and driveways on individual lots.

STAFF RECOMMENDATIONS:

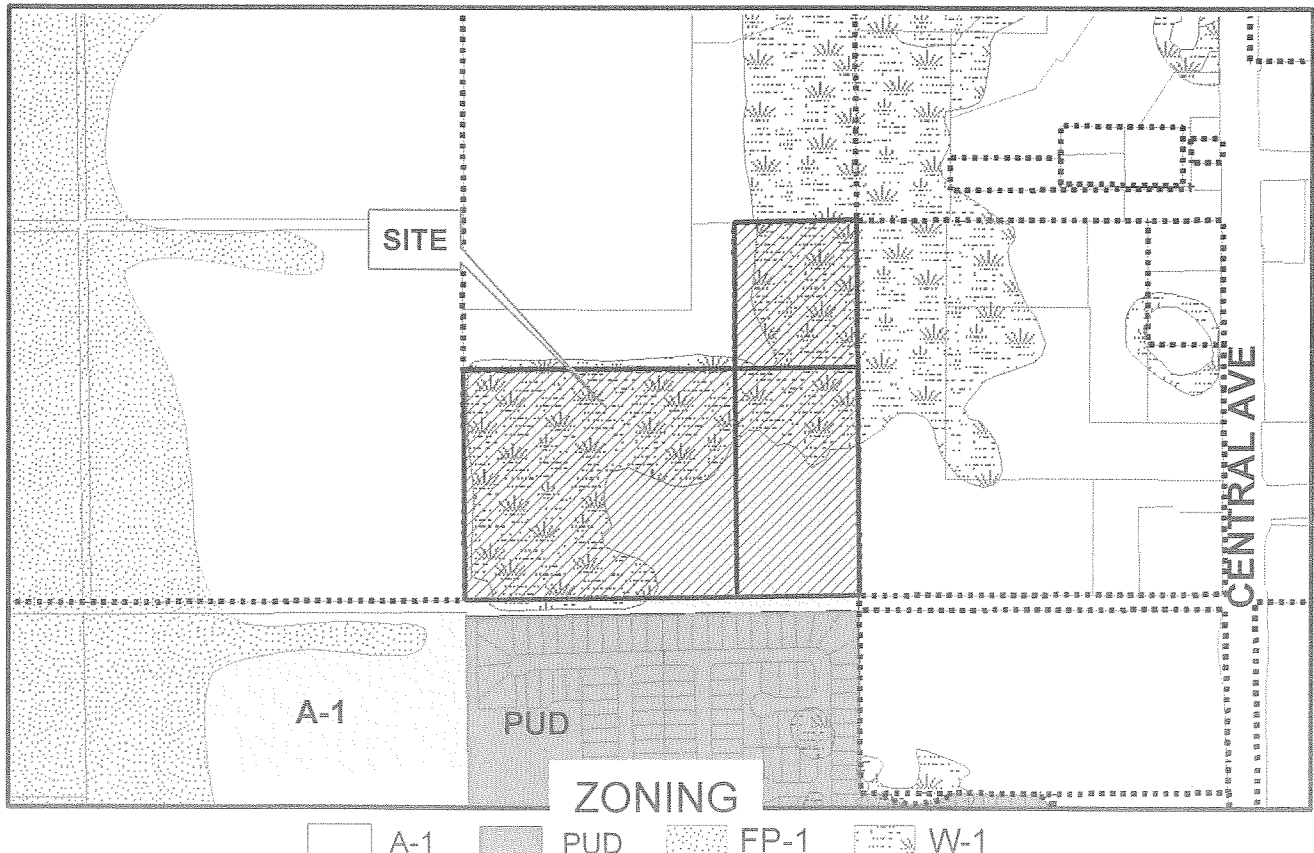
Staff recommends APPROVAL of the request subject to conditions listed in the attached staff report and development order.

The presence of any wetlands and/or flood-prone areas is determined on a site by site basis. Boundary adjustments may be made based upon more definitive on-site information obtained during the development review process.
 *Wetland information, based on National Wetland Inventory Maps, provided by SJRWMD.
 Floodprone area information, based on Flood Insurance Rate Maps, provided by FEMA.



Applicant: Red Bug Road R-3A Townhomes
 Physical STR: 21-21-31-300-0020, 2A & 2C-0000
 Gross Acres: 29.41 +/- BCC District: 1
 Existing Use: Vacant Residential
 Special Notes: None

	Amend/ Rezone#	From	To
FLU	05S.FLU01	LDR	MDR
Zoning	z2004-050	A-1	R-3A



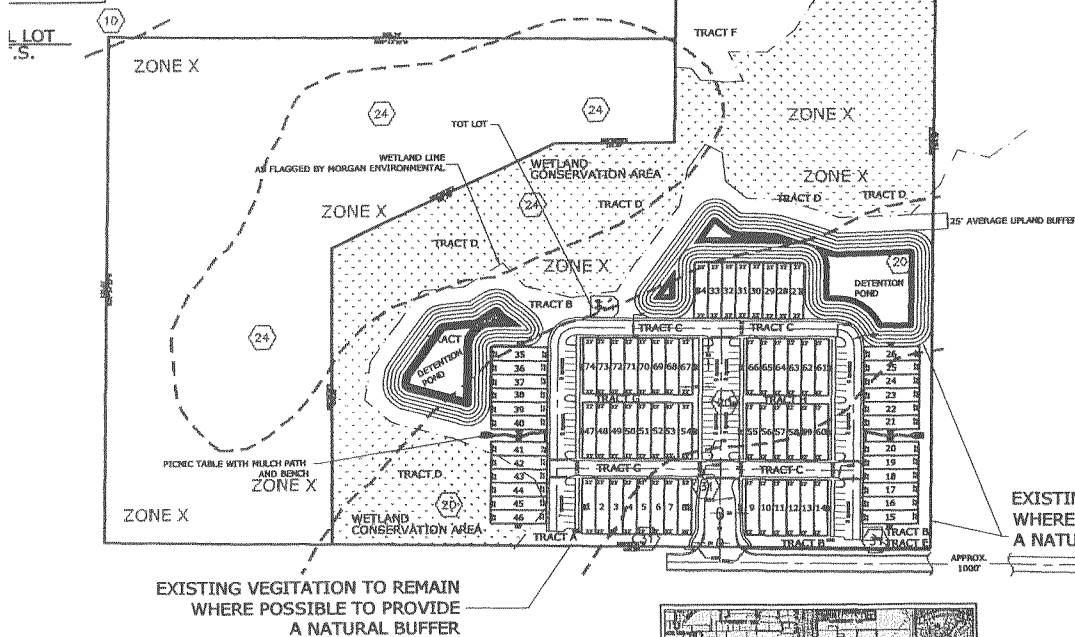
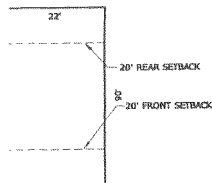
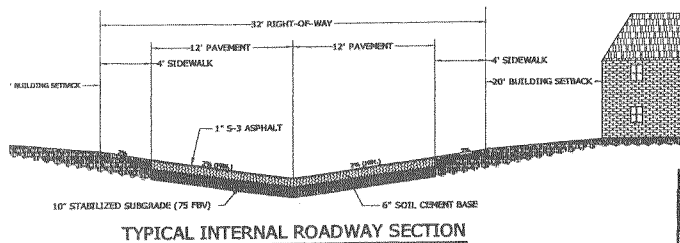


Amendment No: 05S.FLU01
From: LDR To: MDR
Rezone No: Z2004-056
From: A-1 To: R-3A

- ☐ Parcel
☒ Subject Property

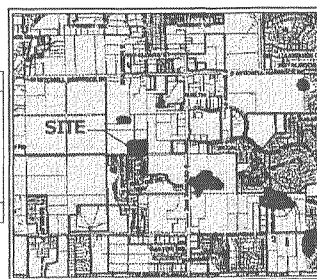


February 1999 Color Aerials



Open Space Area Calculation	
Grassy Site Area	20.12 acres
Range of External ROW Deductions	0 acres
Public or Private ROW	1.83 acres
Other Areas (incl. alleys)	0 acres
Parking and Paved Areas	0 acres
Residential Lots (if plotted)	3.4 acres
Residential Building Footprints (if plotted)	0 acres
Outcrops	0 acres
Disturbance (if not minimized per LDC)	2.05 acres
Utility Tracts/Facilities (i.e. 10 stations)	0.01 acres
Total Open Space	12.82 acres

Net Buildable Acreage Calculation	
Grassy Site Area	20.12 acres
External ROW Deductions	0 acres
Nonresidential Outcrops	0 acres
Wetlands	0.62 acres
Flood Prone areas	0 acres
Public Road ROW	0 acres
Private Road ROW	1.83 acres
Other Areas (incl. alleys)	0 acres
Utilities	0 acres
Transmission Line Easements	0 acres
Net Buildable Area	6.87 acres



SITE DATA:

- Site is located in Section 21, Township 21 South, Range 31 East, Seminole County Florida
- Current Site Zoning: A-1 Proposed Zoning: R-3A
- Site Contains 20.12 acres more or less
- Existing Use: Vacant/Agricultural
- Proposed Use: Single Family Townhomes
- Total Number of Proposed Lots: 74 (1 Phase only)
- Residential Density: Minimum of 10 D.U. / Net Buildable Acre
- Projected School Age Population: 0.185 x 74 = 13.6 students (Total Buildout)
- Proposed Minimum Lot Size: 1,980 sqft.
Proposed Minimum Lot Width: 22'
- Building Setbacks:
 - Frontyard setback: 20'
 - Sidewalk setback: 0'
 - Rearyard setback: 20'
 - Front setback from Sidewalk (where sidewalk not in R/W): 20'
- Off Street Parking:

79 (10' x 20') spaces provided (each lot will include a single garage within the building and driveway space)

Seminole County requires 2 spaces per residential unit

74 lots x 2 (spaces per lot) = 148 required spaces

79 (off street spaces) + 148 (garage spaces + driveway spaces) = 227 proposed spaces
- No construction within 100 yr. flood plain is proposed.
- All Tracts will be dedicated to a mandatory H.O.A. with an easement to Seminole County.
- No accessory structures will be permitted on the lots.
- Fire flow shall be provided according to the following:
 - Single Family: 500 gpm @ 20 psi
 - Multi-Family (2 stories or less): 1,500 gpm @ 20 psi
 - Commercial/Industrial: N/A
- Water and Sanitary Sewer services will be provided by City of Oviedo.
- The site has water and force main running along Alafaya Trail.
- Blue reflectors to be installed in streets adjacent to all fire hydrant as per Seminole County Land Development Regulations
- All traffic markings shall be in accordance with Seminole County and FDOT roadway specifications
- Project to be constructed in one phase.
- Sidewalk will be provided internal to the subdivision.
- Offsite Roadway Improvements to E Red Bug Road will be made from SR 434 to entrance including a sidewalk on the north side of the road.
- On Site Wetland areas will be placed in conservation, unless an impact is proposed.
- The proposed 8ft station will be owned and maintained by the HOA.
- All retention ponds will be owned and maintained by the HOA, with an easement to Seminole County.
- Front walls of buildings will be staggered to provide architectural variation in the front elevation.

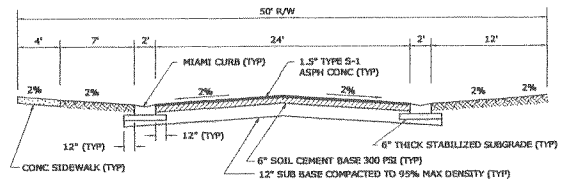
TRACT TABLE			
TRACT	AREA (AC.)	TYPE	OWNER/SHIP
A	0.21	OPEN SPACE	HOA
B	3.55	OPEN SPACE/RETENTION	HOA
C	1.08	BISETT-OF-WAY	HOA
D	0.62	CONSERVATION	HOA
E	0.01	LEFT STATION TRACT	HOA
F	2.3	WETLAND PRESERVATION	HOA
G	0.12	OPEN SPACE	HOA
H	0.89	OPEN SPACE	HOA
TOTAL	10.71		

LEGAL DESCRIPTION:

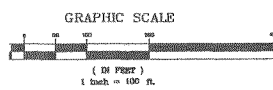
A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

COMMENCING at a 5' x 5' Concrete monument found and accepted as marking the East 1/4 Corner of Section 21, Township 21 South, Range 31 East; Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00' to the POINT OF BEGINNING of the parcel herein described; thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 30 Seconds East, a distance of 379.70'; thence South 90 Degrees 00 Minutes 00 Seconds East, a distance of 191.42'; thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59'; thence South 89 Degrees 23 Minutes, 37 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26' feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less

SOIL NUMBER	SOIL NAME	HYDRO. GROUP
10	BAHIGNE/SUNBELT/FAIRBANK	DSD
11	HYPERBOLIC/FAIRBANK/FAIRBANK	DSD
12	FAIRBANK/FAIRBANK/FAIRBANK	A
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EAST RED BUG ROAD CROSS SECTION N.T.S.



Community Planning
Project Management
Civil Engineering
Landscape Architecture

**Miller
Einhouse
Rymet &
Boyd**

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ENGINEER IN CHARGE:
MICHAEL L. BLANCHETT, P.E.

COOPER DEVELOPMENT, LLC
3118 N. US HIGHWAY 17, SUITE 140
DAVIDSON, N.C. 28033
407.996.3623

COOPER PROPERTY
SEMINOLE COUNTY, FLORIDA

OVERALL SITE PLAN

DATE: 9/24/04
Scale: 1"=100'
PROJECT NO: 0000.00
DRAWN BY: GLS
CHECKED BY: GLS
APPROVED BY: GLS



ARCHITECTURE

22' TOWNHOMES

KB HOME
OF TAMPA, INC.

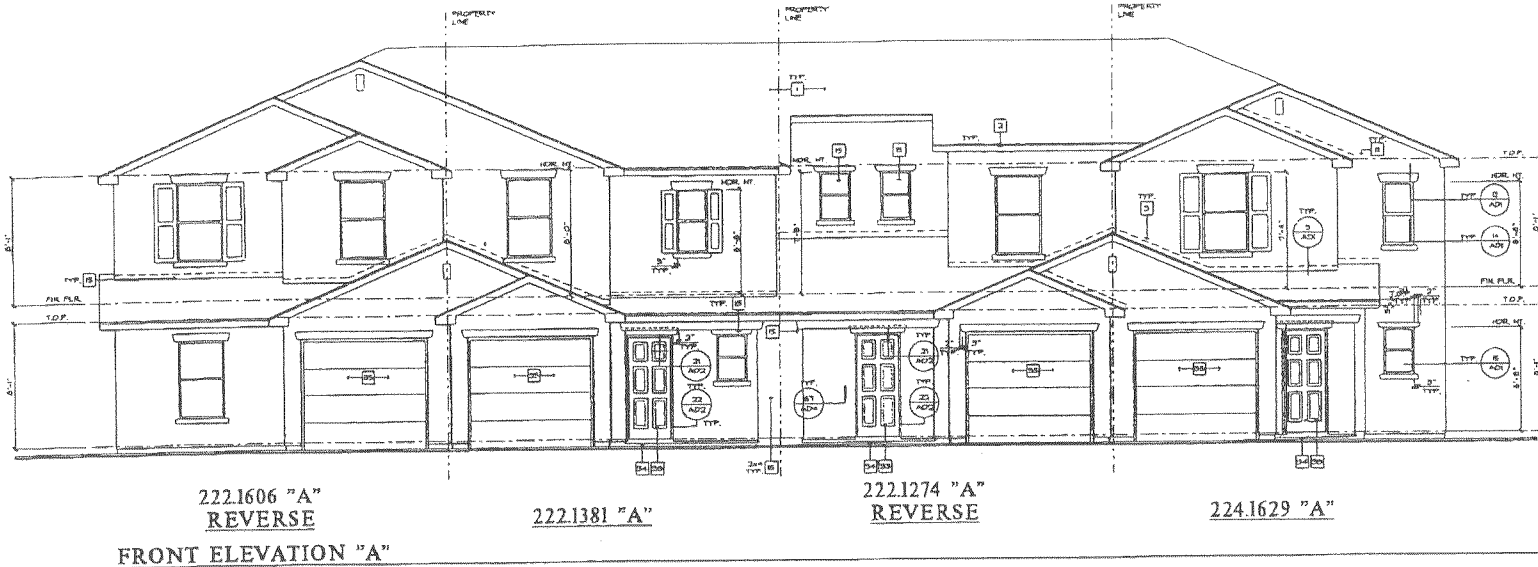
3450 Burchwood
Park Drive, Suite 200
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 932-6470

ISSUE DATE: 12/23/03
DRAWN BY: JJ/CT
PROJECT NO.: 1200992-00
PROJECT MGR.: ELB

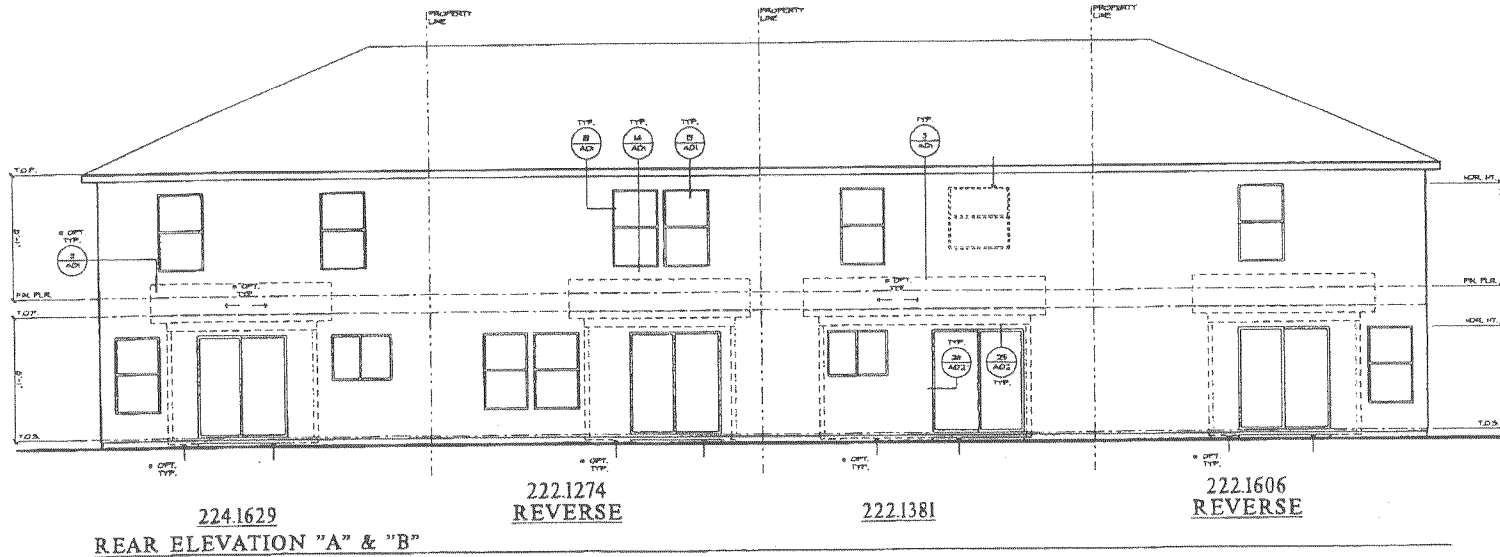
NO.	DESCRIPTION
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2	2. 2x4 PANGLOSS/BOARD WITH ALUMINUM FASCIA CAP
3	3. G.I. FLASHING
4	4. G.I. FLASHING - SADDLE/CORNER
5	5. G.I. DRIP SCHEDE
6	6. CONTROL JOINT
7	7. DECORATIVE MOULD - PYPON OR EQUAL SEE ELEVATION FOR PART #
8	8. DECORATIVE CORNELL - PYPON OR EQUAL SEE ELEVATION FOR PART #

PLAN:
4 PLEX

SHEET:
3A1



FRONT ELEVATION "A"



REAR ELEVATION "A" & "B"

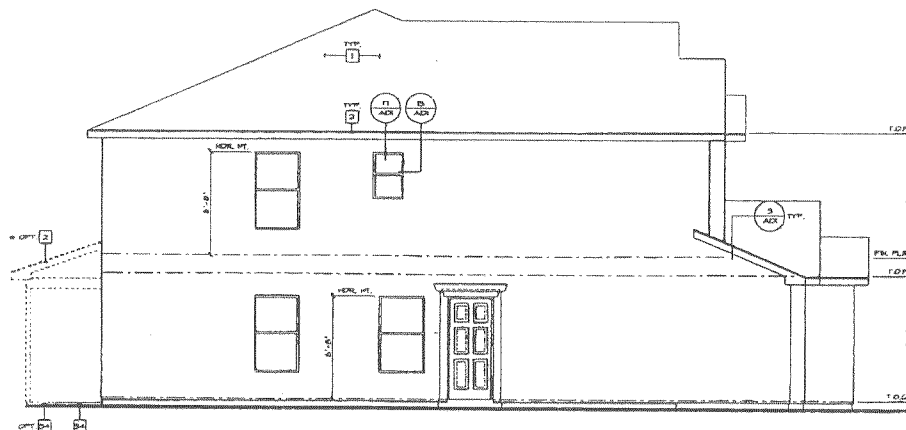
ELEVATION NOTES

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| <p>NOTE:
NOT ALL KEY NOTES APPLY.</p> <p>1. ROOF MATERIAL - REFER TO ROOF NOTES</p> <p>2. 2x4 PANGLOSS/BOARD WITH ALUMINUM FASCIA CAP</p> <p>3. G.I. FLASHING</p> <p>4. G.I. FLASHING - SADDLE/CORNER</p> <p>5. G.I. DRIP SCHEDE</p> <p>6. CONTROL JOINT</p> <p>7. DECORATIVE MOULD - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>8. DECORATIVE CORNELL - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> | <p>9. DECORATIVE SHUTTERS - SEE ELEVATION FOR SIZE</p> <p>10. DECORATIVE COVERED HOLDING - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>11. RECESSED SHUTTER</p> <p>12. DECORATIVE DENTIL BLOCK - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>13. CONVENTIONAL FINISH OVER DECORATIVE CORNELL</p> <p>14. CONVENTIONAL FINISH OVER SHUTTERS</p> <p>15. CONVENTIONAL FINISH OVER ROOF TRIM
SEE ELEVATION FOR SIZE</p> <p>16. EXLT UP COLUMN</p> | <p>17. STONE VENEER PER SPEC'S</p> <p>18. BRICK VENEER PER SPEC'S</p> <p>19. REVEAL</p> <p>20. ROUGHEN COURSE</p> <p>21. ROUGHEN COURSE</p> <p>22. FINISH BOARD</p> <p>23. FINISH BOARD</p> <p>24. FINISH GEMENT LAP SHING - 8" EXPOSURE</p> <p>25. FINISH GEMENT SHING - 8" EXPOSURE</p> <p>26. CONCRETE BLOCK COLUMN</p> <p>27. NOT IN USE</p> | <p>28. DECORATIVE COLUMN WITH STRUCTURAL BODY -
PYPON OR EQUAL. SEE ELEVATION FOR PART #</p> <p>29. DECORATIVE COLUMN SHING - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>30. DECORATIVE KNEE BRACE - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>31. DECORATIVE FINISH - PYPON OR EQUAL
SEE ELEVATION FOR PART #</p> <p>32. DECORATIVE POSTSHELF</p> <p>33. ENTRY DOOR</p> <p>34. CONCRETE STOOP/PORCH - SEE BLAD INTERPAGE PLAN</p> | <p>35. OPTIONAL DOOR/SHUTTER - REFER TO PLAN OPTIONS</p> <p>36. VERTICAL FINISH GEMENT SHING PUCH BATTIS 8" UP O.C.</p> <p>37. SLOPING</p> <p>38. BOX COLUMN 18" TURNKEY MILLWORK</p> <p>39. VERTICAL FINISH GEMENT SHING PUCH BATTIS 8" O.C.</p> <p>40. FINISH GEMENT</p> |
|--|--|--|---|--|

This is a preliminary drawing and is not to be used for construction. It is the responsibility of the client to verify all dimensions and details with the architect before construction. Copyright 2004 KB Home Corporation. All rights reserved.



RIGHT ELEVATION "A"



LEFT ELEVATION "A"

ELEVATION NOTES	
NOTE:	
1. NOT ALL KEY NOTES APPLY	
2. ROOF MATERIAL - REFER TO ROOF NOTES	
3. 2" FROG CHARGE DOWNS WITH ALUMINUM FLASH CAP	
4. G.I. FLASHING	
5. 6" FLASHING + SADDLE/CASCAD	
6. 6" DRY SCREED	
7. CONTROL JOINT	
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9. DECORATIVE CORBEL - PYRON OR EQUAL	
10. DECORATIVE SHUTTERS - SEE ELEVATION FOR SPEC	
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12. DECORATIVE DENTIL BLOCK - PYRON OR EQUAL	
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17. FIBER CEMENT TRIM	
18. STONE VENEER PER SPEC'S	
19. BRICK VENEER PER SPEC'S	
20. REVEAL	
21. SOLIDOR CORNER	
22. RIVOLUX CORNER	
23. FIBER CEMENT LAMP SINGS - 0" EXPOSURE	
24. FIBER CEMENT SHANK SINGS - 0" EXPOSURE	
25. CONCRETE BLOCK COLUMN	
26. NOT IN USE	
27. DECORATIVE COLUMN WITH STRUCTURAL INSERT - PYRON OR EQUAL SEE ELEVATION FOR PART 1	
28. DECORATIVE COLUMN BASE - PYRON OR EQUAL SEE ELEVATION FOR PART 1	
29. DECORATIVE GIRD BRIDGE - PYRON OR EQUAL SEE ELEVATION FOR PART 1	
30. DECORATIVE FISH - PYRON OR EQUAL SEE ELEVATION FOR PART 1	
31. DECORATIVE POTSMELF	
32. ENTRY DOOR	
33. CONCRETE STAIR PORCH - SEE SLAB INTERFERENCE PL. 1	
34. RECTANGULAR GARAGE DOOR PER SPEC'S	
35. OPTIONAL DOOR SWING - REFER TO PLAN OPTIONS	
36. VERTICAL FIBER CEMENT SING P/IN BATTIE - 12" O.C.	
37. SCORING	
38. DOA COLUMN BY TURNKEY MILLWORK	
39. VERTICAL FIBER CEMENT SING P/IN BATTIE - 12" O.C.	
40. PATHECOT	



22'
TOWNHOMES

KB HOME
OF TAMPA, INC.
3450 Buschwood
Park Drive, Suite 200
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 832-6470

ISSUE DATE: 12/20/03
DRAWN BY: JI/CF
PROJECT NO.: 12009993.09
PROJECT MGR.: ELB

PLAN INTERFERENCE AND ONLY	
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PLAN:
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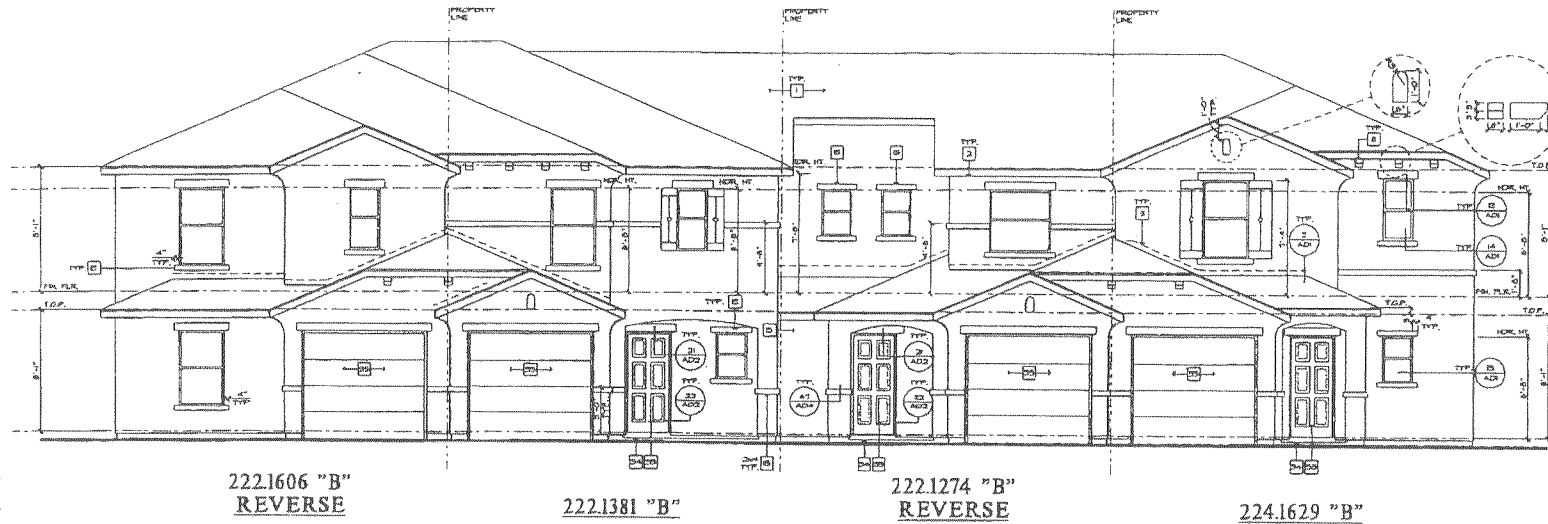
22' TOWNHOMES

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OF TAMPA, INC.
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Park Drive, Suite 250
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 932-6470

ISSUE DATE: 12/23/03
DRAWN BY: JH/CY
PROJECT NO.: 120009900
PROJECT MGR.: CLR

REV	DESCRIPTION
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PLAN:
4 PLEX
SHEET:
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222.1606 "B"
REVERSE
FRONT ELEVATION "B"

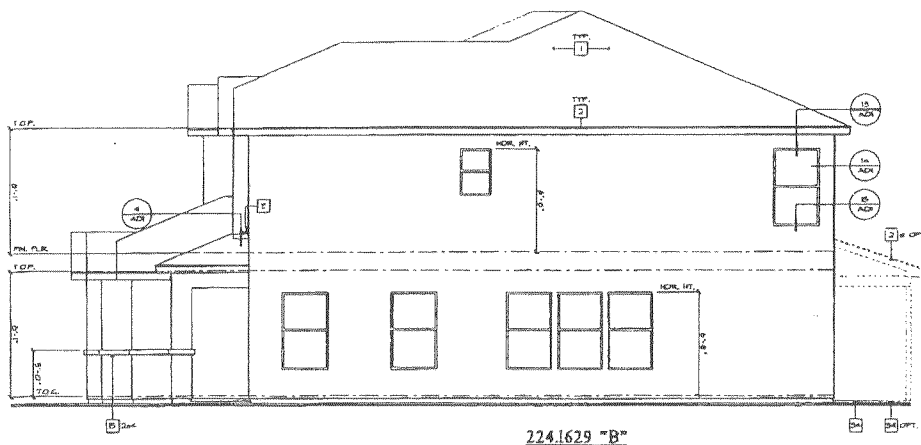
222.1381 "B"

222.1274 "B"
REVERSE

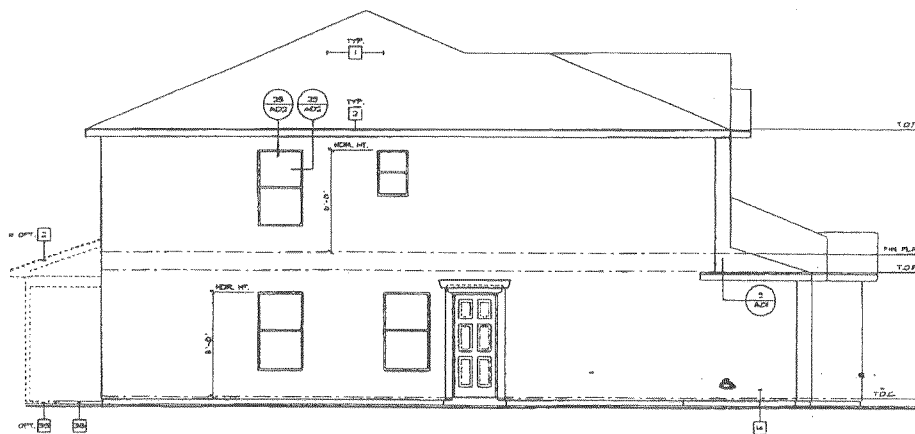
222.1629 "B"

ELEVATION NOTES

<p>NOTES:</p> <p>1. ROOF MATERIAL - REFER TO ROOF NOTES</p> <p>2. 3/4" FASCIA/BOARD WITH ALUMINUM FASCIA CAP</p> <p>3. 5/8" FLASHING</p> <p>4. 6/1" FLASHING & SADDLE/CRACK</p> <p>5. 6/1" DRY SCREED</p> <p>6. CONTROL JOINT</p> <p>7. DECORATIVE VENT - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>8. DECORATIVE CORDEL - PYPON OR EQUAL</p>	<p>9. DECORATIVE SHUTTERS - SEE ELEVATION FOR SIZE</p> <p>10. DECORATIVE COVER HOLDING - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>11. RECESSED ELEMENT</p> <p>12. DECORATIVE DENTIL BRIDGE - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>13. CONCRETE FINISH OVER DECORATIVE CORDEL</p> <p>14. CONCRETE FINISH OVER SPOTS</p> <p>15. CONCRETE FINISH OVER ROOF FINISH, SEE ELEVATION FOR SIZE</p> <p>16. BUILT UP CEMENT</p>	<p>17. STONE VENEER FOR SPOTS</p> <p>18. BRICK VENEER FOR SPOTS</p> <p>19. BRICK VENEER</p> <p>20. BRICK VENEER</p> <p>21. BRICK VENEER</p> <p>22. BRICK VENEER</p> <p>23. BRICK VENEER</p> <p>24. BRICK VENEER</p> <p>25. BRICK VENEER</p> <p>26. BRICK VENEER</p> <p>27. NOT IN USE</p>	<p>28. DECORATIVE COLUMN WITH STRUCTURAL JOINT - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>29. DECORATIVE COLUMN BASE - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>30. DECORATIVE CORDEL BRIDGE - PYPON OR EQUAL, SEE ELEVATION FOR PART #</p> <p>31. DECORATIVE BRUSH - PYPON OR EQUAL</p> <p>32. DECORATIVE POSTHOLE</p> <p>33. ENTRY DOOR</p> <p>34. CONCRETE TO STOOD/POUGH - SEE 2D/3D INTERFERENCE - AN</p>	<p>35. OPTIONAL DOOR/DOOR - REFER TO PLAN OPTIONS</p> <p>36. VERTICAL FIBER CEMENT SIGN POST BATTEN - 12" O.C.</p> <p>37. SCORING</p> <p>38. BOX COLUMN BY TURNKEY MILLWORK</p> <p>39. VERTICAL FIBER CEMENT SIGN POST BATTEN - 12" O.C.</p> <p>40. HANGING</p>
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RIGHT ELEVATION "B"



LEFT ELEVATION "B"

ELEVATION NOTES	
NOTE:	NOT ALL KEY NOTES APPLY
1.	ROOF MATERIAL - REFER TO ROOF NOTES
2.	2" PANGLOSS/CHARGE BOARD WITH ALUMINUM FASCIA CAP
3.	6" PLASTER
4.	6" PLASTER & SADDLE CRACK
5.	6" DRY SCREED
6.	CONTROL JOINT
7.	DECORATIVE VENT - PYRON OR EQUAL, SEE ELEVATION FOR PART #
8.	DECORATIVE CORBEL - PYRON OR EQUAL, SEE ELEVATION FOR PART #
9.	DECORATIVE SHUTTER - SEE ELEVATION FOR VEE, SEE ELEVATION FOR PART #
10.	DECORATIVE CORBEL HOLDING - PYRON OR EQUAL, SEE ELEVATION FOR PART #
11.	RECESSED ELEMENT
12.	DECORATIVE GENTLE BLADES - PYRON OR EQUAL, SEE ELEVATION FOR PART #
13.	GENUINEWOOD FINISH OVER DECORATIVE CORBEL
14.	GENUINEWOOD FINISH OVER PYRON
15.	GENUINEWOOD FINISH OVER FOAM TRIM, SEE ELEVATION FOR PART #
16.	BUILT UP COLUMN
17.	FIBER CEMENT TRIM
18.	STONE VENEER PER SPEC
19.	TRIM VENEER PER SPEC
20.	REVEAL
21.	SOLDER COURSE
22.	NON-LOCK CORNER
23.	TRUSS BOARD
24.	FIBER CEMENT LAM. SIDING - 8" EXPOSURE
25.	FIBER CEMENT SIDING - 8" EXPOSURE
26.	CONCRETE BLOCK COLUMN
27.	NOT IN USE
28.	DECORATIVE COLUMN WITH STRUCTURAL INSERT - PYRON OR EQUAL, SEE ELEVATION FOR PART #
29.	DECORATIVE COLUMN BASE - PYRON OR EQUAL, SEE ELEVATION FOR PART #
30.	DECORATIVE CORNER BRACE - PYRON OR EQUAL, SEE ELEVATION FOR PART #
31.	DECORATIVE TRIM - PYRON OR EQUAL, SEE ELEVATION FOR PART #
32.	DECORATIVE POST
33.	ENTRY DOOR
34.	CONCRETE STOODUP/ARCH - SEE SLAB INTERFACE PLAN
35.	SECTIONAL BURNING DOOR PER SPEC
36.	OPTIONAL DOOR/ARCH - REFER TO PLAN OPTION
37.	VERTICLE FIBER CEMENT SIDING 12" BATT # 12" O.C.
38.	SCORING
39.	BON COLUMN BY TURNKEY MILLWORK
40.	VERTICLE FIBER CEMENT SIDING 12" BATT # 12" O.C.
41.	HANDCOT



22' TOWNHOMES

KB HOME
OF TAMPA, INC.
3450 Burchwood
Park Drive, Suite 250
Tampa, FL 33618
TEL: (813) 775-7800
FAX: (813) 332-6470

ISSUE DATE: 12/25/03
DRAWN BY: N/C
PROJECT NO.: 1200000000
PROJECT MCR: ELB

FOR INFORMATION ONLY	
REVISION	
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SHEET:
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Red Bug Rd. / Cooper Townhomes Large Scale Land Use Amendment Staff Report

Low Density Residential (LDR) to Medium Density Residential (MDR)		Amendment (Z2004-050, 05S.FLU01)
<i>REQUEST</i>		
APPLICANT	Jim Cooper	
PLAN AMENDMENT	Low Density Residential (LDR) to Medium Density Residential (MDR)	
REZONING	A-1 to R-3A	
APPROXIMATE GROSS ACRES	20.12	
LOCATION	North side of East Red Bug Rd., ¼ mile west of SR 434	
BCC DISTRICT	1, Dallari	
<i>RECOMMENDATIONS AND ACTIONS</i>		
STAFF RECOMMENDATION December 1, 2004	Staff recommends APPROVAL of the request subject to conditions listed in the staff report and development order.	

STAFF ANALYSIS

Low Density Residential (LDR) to Medium Density Residential (MDR)

Amendment
(Z2004-050,
05S.FLU01)

1. **Property Owner:** Diocese of Orlando, Norbert M. Dorsey, Bishop
2. **Tax Parcel Numbers:** 21-21-31-300-002A-0000
21-21-31-300-002C-0000
21-21-31-300-002D-0000
3. **Development Trends:** The subject property lies in an undeveloped area between commercial uses along S. Central Ave. in the City of Oviedo and agricultural uses to the west, also in Oviedo. Although the adjoining property to the east is vacant, the City has assigned it a zoning and future land use for commercial development. To the south is Dunhill, a single family PUD with a density equivalent to that of R-1BB.

SITE DESCRIPTION

1. **EXISTING AND PERMITTED USES:** The future land use designation of Office, currently assigned to the subject property, permits general office and supporting uses such as schools and day care centers.

Location	Future Land Use*	Zoning*	Existing Use
North	Commercial (City of Oviedo)	Public Lands (City of Oviedo)	Vacant
South	Planned Development	PUD	Single Family
East	Commercial (City of Oviedo)	Commercial (City of Oviedo)	Vacant
West	Low Density Res. / Rural (City of Oviedo)	Agricultural (City of Oviedo)	Vacant

- See enclosed future land use and zoning maps for more details.

COMPREHENSIVE PLAN CONSISTENCY

2. PLAN PROGRAMS - Plan policies address the continuance, expansion and initiation of new government service and facility programs, including, but not limited to, capital facility construction. Each application for a land use designation amendment will include a description and evaluation of any Plan programs (such as the effect on the timing/financing of these programs) that will be affected by the amendment if approved.

Summary of Program Impacts: The proposed amendment does not alter the options or long-range strategies for facility improvements or capacity additions included in the Support Documentation to the Vision 2020 Plan. The amendment request would not be in conflict with the Metroplan Orlando Plan or the Florida Department of Transportation's 5-Year Plan (Transportation Policy 14.1).

A. Traffic Circulation - Consistency with Future Land Use Element: *In terms of all development proposals, the County shall impose a linkage between the Future Land Use Element and the Transportation Element and all land development activities shall be consistent with the adopted Future Land Use Element (Transportation Policy 2.1).*

Access to the subject property is via East Red Bug Road, currently an unimproved right-of-way which will have to be constructed to County standards. The nearest arterial is SR 434, approximately ¼ mile to the east of the site. The most recent traffic count information, from 2002, indicates 24,755 daily trips on this road. Based on the recent 6-laning of this facility, operating level of service (LOS) should be no lower than "B." The adopted LOS standard is "D."

B. Water and Sewer Service – Adopted Potable Water and Sanitary Sewer Service Area Maps: *Figure 11.1 and Figure 14.1 are the water and sewer service area maps for Seminole County*

The subject property is within the City of Oviedo water and sewer service areas. Water and sewer service are available to the site.

C. Public Safety – Adopted Level of Service: *The County shall maintain adopted levels of service for fire protection and rescue...as an average response time of five minutes (Public Safety Policy 12.2.2).*

The property is served by the Seminole County EMS/Fire Station #46. Response time to the site is less than 5 minutes, which meets the County's average response time standard of 5 minutes.

3. REGULATIONS - The policies of the Plan also contain general regulatory guidelines and requirements for managing growth and protecting the environment. These guidelines will be used to evaluate the overall consistency of the land use amendment with the Vision 2020 Plan, but are not applied in detail at this stage.

A. **Preliminary Development Orders: Capacity Determination:** *For preliminary development orders and for final development orders under which no development activity impacting public facilities may ensue, the capacity of Category I and Category III public facilities shall be determined as follows...No rights to obtain final development orders under which development activity impacting public facilities may ensue, or to obtain development permits, nor any other rights to develop the subject property shall be deemed to have been granted or implied by the County's approval of the development order without a determination having previously been made that the capacity of public facilities will be available in accordance with law (Implementation Policy 1.2.3).*

A review of the availability of public facilities to serve this property indicates that there would be adequate facilities to serve this area, or that such facilities could be made available, and that the proposed Plan amendment would create no adverse impacts to public facilities.

B. **Flood Plain and Wetlands Areas - Flood Plain Protection and Wetlands Protection:** *The County shall implement the Conservation land use designation through the regulation of development consistent with the Flood Prone (FP-1) and Wetlands (W-1) Overlay Zoning classifications...(Policy FLU 1.2 and 1.3).*

The site contains significant areas of wetlands. However, these areas will be left largely undisturbed and will be dedicated to Seminole County through conservation easements as required by Policy FLU 1.3.

C. **Protection of Endangered and Threatened Wildlife:** *The County shall continue to require, as part of the Development Review Process, proposed development to coordinate those processes with all appropriate agencies and comply with the US Fish and Wildlife Service and the Florida Fish and Wildlife Conservation Commission Rules as well as other applicable Federal and State Laws regarding protection of endangered and threatened wildlife prior to development approval (Conservation Policy 3.13).*

A threatened and endangered species report shall be required prior to final engineering approval for any proposed development on the subject property.

4. DEVELOPMENT POLICIES - Additional criteria and standards are also included in the Plan that describe when, where and how development is to occur. Plan development policies will be used to evaluate the appropriateness of the use, intensity, location, and timing of the proposed amendment.

A. **Compatibility:** When the County's Future Land Use Map (FLUM) was developed in 1987, land use compatibility issues were evaluated and ultimately defined through a community meeting/hearing process that involved substantial public comment and input. When amendments are proposed to the FLUM, however, staff makes an initial evaluation of compatibility, prior to public input and comment, based upon a set of professional standards that include, but are not limited to criteria such as: (a) long standing community development patterns; (b) previous policy direction from the Board of County Commissioners; (c) other planning principles articulated in the Vision 2020 Plan (e.g., appropriate transitioning of land uses, protection of neighborhoods, protection of the environment, protection of private property rights, no creation of new strip commercial developments through plan amendments, etc.).

Based upon an initial evaluation, the proposed MDR land use may be compatible with the commercial uses existing and proposed to the east, and with the existing single family development in PD to the south. The preserved wetlands on the subject property, as well as the upland preservation area depicted on the site plan, should serve as effective buffers adjacent to any future development to the west and north of the site.

Applicable Plan policies include, but are not limited to, the following:

Transitional Land Uses (Policy FLU 2.5): *The County shall evaluate plan amendments to insure that transitional land uses are provided as a buffer between residential and non-residential uses, between varying intensities of residential uses, and in managing the redevelopment of areas no longer appropriate as viable residential areas. "Exhibit FLU: Appropriate Transitional Land Uses" is to be used in determining appropriate transitional uses.*

"Exhibit FLU: Appropriate Transitional Land Uses" indicates that MDR is an appropriate transitional use adjacent to the single family development to the south, which is consistent with MDR (although the nominal future land use designation is PD). Adjacent to commercial land uses to the east, MDR can be considered compatible with sufficient buffering to minimize any adverse impacts.

Other applicable plan policies include:

*FLU 2.1 Subdivision Standards.
FLU 5.5: Water and Sewer Service Expansion
MDR Future Land Use Definition*

B. **Concurrency Review - Application to New Development:** *For purposes of approving new development subsequent to adoption of this Comprehensive Plan, all adopted public facilities level of service standards and schedules of capital improvements...shall be applied and evaluated...consistent with policies of the Implementation Element... (Capital Improvements Policy 3.2).*

This policy provides for the adoption of level of service (LOS) standards for public facilities and requires that final development orders be issued only if public facilities meeting the adopted LOS are available or will be available concurrent with the development. Additionally, preliminary development orders shall only be issued with the condition that no rights to obtain final development orders or development permits, nor any other rights to develop the subject property are granted or implied by the County's approval of the preliminary development order. The applicant has elected to defer concurrency review and the site will have to demonstrate concurrency compliance at the time of final engineering.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the request subject to the attached site plan and the following conditions:

1. Retention ponds will be amenitized in accordance with Section 30.1344 of the Land Development Code.
2. Buffers along the east property line shall contain 4 canopy trees per 100 linear feet, having a minimum caliper of 3" as measured 1 foot above ground, and a 6-foot PVC fence.
3. Building height shall be limited to 35 feet.
4. Building setbacks from the perimeter of the site shall be a minimum of 35 feet.
5. Permitted uses shall be single family homes, townhouses, home occupations, home offices, and appropriate accessory uses.
6. Minimum required setbacks on individual lots shall be:

Front	20'
Rear	20'
Side	0'
7. In the event that sidewalks are installed in easements on privately owned lots, the front building setback shall be no less than 20 feet from the nearest edge of the sidewalk.
8. No accessory buildings shall be permitted on platted townhouse lots.
9. Sidewalks shall be provided adjacent to all dwelling units, and crosswalks shall be designated to establish continuous pedestrian access to all parts of the development.
10. Front walls of the units shall be staggered.
11. The developer shall pave East Red Bug Road to County standards from the project entrance to SR 434.
12. The developer shall provide a sidewalk along East Red Bug Road connecting the development with SR 434.
13. Garage parking spaces shall have minimum dimensions of 10' x 20.'
14. Garages shall not be converted to living space.
15. If parking of recreation vehicles and/or boats on trailers will be permitted within the development, a parking area shall be established separate from townhouse units.

**SEMINOLE COUNTY DEVELOPMENT
ORDER**

On January 11, 2005, Seminole County issued this Development Order relating to and touching and concerning the following described property:

Legal description attached as Exhibit A.

(The aforescribed legal description has been provided to Seminole County by the owner of the aforescribed property.)

FINDINGS OF FACT

Property Owner: DIOCESE OF ORLANDO
NORBERT M. DORSEY, BISHOP

Project Name: RED BUG ROAD / COOPER TOWNHOMES

Requested Development Approval: Large Scale Land Use Amendment from Low Density Residential (LDR) to Medium Density Residential (MDR) and rezoning from A-1 (Agriculture) to R-3A (Multiple Family Dwelling District)

The Development Approval sought is consistent with the Seminole County Comprehensive Plan and will be developed consistent with and in compliance to applicable land development regulations and all other applicable regulations and ordinances.

The owner of the property has expressly agreed to be bound by and subject to the development conditions and commitments stated below and has covenanted and agreed to have such conditions and commitments run with, follow and perpetually burden the aforescribed property.

Prepared by: JEFF HOPPER
1101 East First Street
Sanford, Florida 32771

NOW, THEREFORE, IT IS ORDERED AND AGREED THAT:

- (1) The aforementioned application for development approval is **GRANTED**.
- (2) All development shall fully comply with all of the codes and ordinances in effect in Seminole County at the time of issuance of permits including all impact fee ordinances.
- (3) The conditions upon this development approval and the commitments made as to this development approval, all of which have been accepted by and agreed to by the owner of the property are as follows:

1. Retention ponds will be amenitized in accordance with Section 30.1344 of the Land Development Code.
2. Buffers along the east property line shall contain 4 canopy trees per 100 linear feet, having a minimum caliper of 3" as measured 1 foot above ground, and a 6-foot PVC fence.
3. Building height shall be limited to 35 feet.
4. Building setbacks from the perimeter of the site shall be a minimum of 35 feet.
5. Permitted uses shall be single family homes, townhouses, home occupations, home offices, and appropriate accessory uses.
6. Minimum required setbacks on individual lots shall be:

Front	20'
Rear	20'
Side	0'
7. In the event that sidewalks are installed in easements on privately owned lots, the front building setback shall be no less than 20 feet from the nearest edge of the sidewalk.
8. No accessory buildings shall be permitted on platted townhouse lots.
9. Sidewalks shall be provided adjacent to all dwelling units, and crosswalks shall be designated to establish continuous pedestrian access to all parts of the development.
10. Front walls of the units shall be staggered.
11. The developer shall pave East Red Bug Road to County standards from the project entrance to SR 434.
12. The developer shall provide a sidewalk along East Red Bug Road connecting the development with SR 434.
13. Garage parking spaces shall have minimum dimensions of 10' x 20.'
14. Garages shall not be converted to living space.
15. If parking of recreation vehicles and/or boats on trailers will be permitted within the development, a parking area shall be established separate from townhouse units.

(4) This Development Order touches and concerns the aforescribed property and the conditions, commitments and provisions of this Development Order shall perpetually burden, run with and follow the said property and be a servitude upon and binding upon said property unless released in whole or part by action of Seminole County by virtue of a document of equal dignity herewith. The owner of the said property has expressly covenanted and agreed to this provision and all other terms and provisions of this Development Order.

(5) The terms and provisions of this Order are not severable and in the event any portion of this Order shall be found to be invalid or illegal then the entire order shall be null and void.

Done and Ordered on the date first written above.

By: _____,
_____, Chairman
Board of County Commissioners

OWNER'S CONSENT AND COVENANT

COMES NOW, the owner, Diocese of Orlando, Norbert M. Dorsey, Bishop, on behalf of itself and its heirs, successors, assigns or transferees of any nature whatsoever and consents to, agrees with and covenants to perform and fully abide by the provisions, terms, conditions and commitments set forth in this Development Order.

Witness

NORBERT M. DORSEY
Bishop, Diocese of Orlando

Witness

STATE OF FLORIDA)

COUNTY OF SEMINOLE)

I **HEREBY CERTIFY** that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared Norbert M. Dorsey, who is personally known to me or who has produced _____ as identification and who did take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this _____ day of _____, 2005.

Notary Public, in and for the County and State
Aforementioned

My Commission Expires:

EXHIBIT A

LEGAL DESCRIPTION:

A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

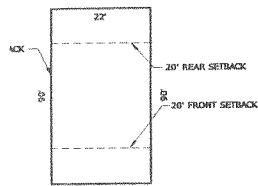
COMMENCING at a 5" x 5" Concrete monument found and accepted as marking the East $\frac{1}{4}$ Corner of Section 21, Township 21 South, Range 31 East; Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00' to the POINT OF BEGINNING of the parcel herein described;
thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 30 Seconds East, a distance of 379.70'; thence South 90 Degrees 00 Minutes 00 Seconds East, a distance of 191.42' thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59'; thence South 89 Degrees 25 Minutes, 32 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26 feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less.

FILE # Z2004-050

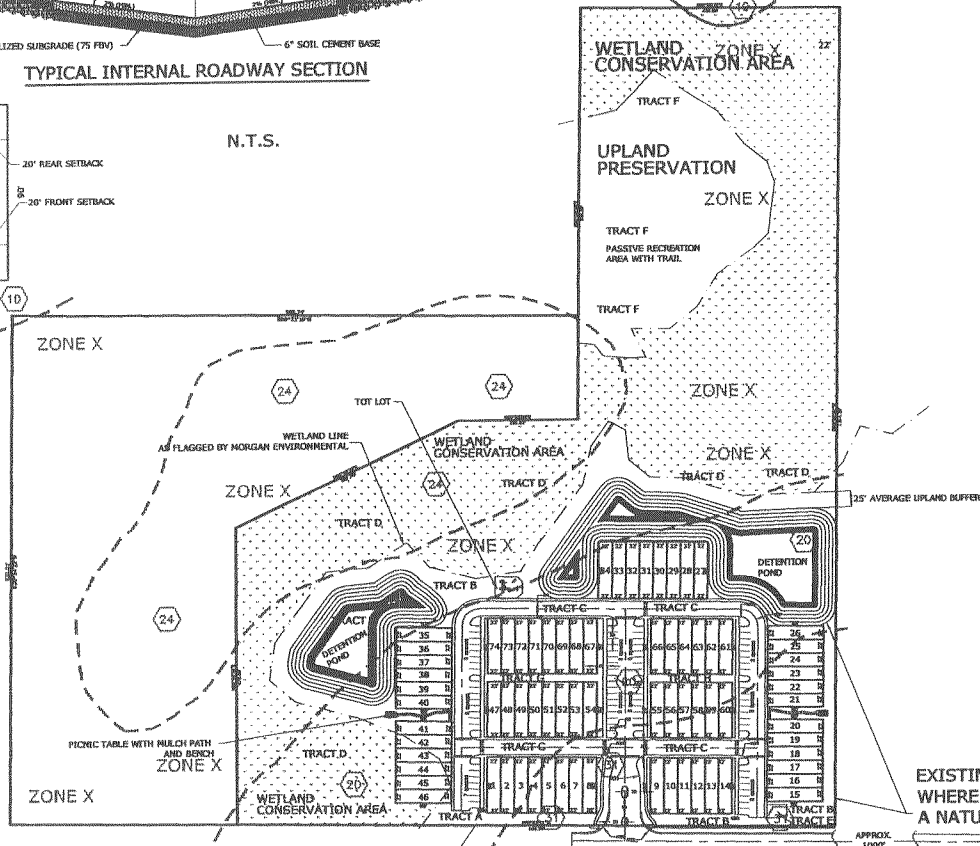
DEVELOPMENT ORDER #4-23000003

EXHIBIT A

SITE PLAN



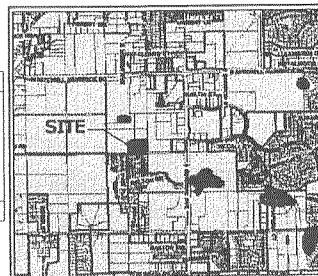
PICAL LOT
N.T.S.



EXISTING VEGETATION TO REMAIN
WHERE POSSIBLE TO PROVIDE
A NATURAL BUFFER

Gross Site Area	20.12	acres
Reserved External R/W Deductions	0	acres
Public or Private R/W	1.93	acres
Drive Areas (incl. alleys)	0	acres
Parking and Paved Areas	0	acres
Residential Lots (if platred)	3.4	acres
Residential Building Footprints (if completed)	0	acres
Outparks	0	acres
Retention (if not authorized per LDC)	2.05	acres
Utility Tracts/Facilities (A. & H. stations)	0.01	acres
Total Open Space	12.53	acres

General Site Area	20.12	acres
External R/W Deductions	0	acres
Nonresidential Outparcels	0	acres
Waterways	8.52	acres
Flooded Private Areas	0	acres
Public Road R/W	0	acres
Private Road R/W	1.03	acres
Other Acreage (incl. others)	0	acres
Utilities	0	acres
Transmission Line Easements	0	acres
Net Buildable Area	11.57	acres

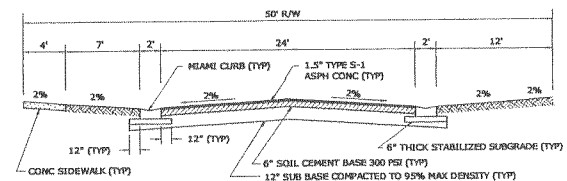


VICINITY MAP
N.T.S.

1. Site is located in Section 21, Township 31 South, Range 31 East, Semineau County Florida
2. Current Site Zoning: A-1 Proposed Zoning: B-3A
3. Site Contains 20.02 acres more or less
4. Existing Use: Vacant/Agricultural
5. Prepared Use: Single Family Townhomes
6. Total Number of Proposed Lots: 74 (1 Phase only)
7. Residential Density: Minimum of 10 D.U. / Net Buildable Area
8. Projected School Age Population: 0.165 x 74 = 13 students (Total Buildable)
9. Proposed Minimum Lot Size: 1,980 sq.ft.
Proposed Minimum Lot Width: 27'
10. Building Setbacks:
 - a. Frontyard setback: 20'
 - b. Sideyard setback: 0'
 - c. Rearyard setback: 20'
 - d. Front setback from sidewalk (where sidewalk set in R/W) 2'
11. Off Street Parking: 74 (10' x 20') spaces provided (each lot will include a single garage within the building and driveway space)
Semineau County requires 2 spaces per residential unit
74 lots x 2 (spaces per lot) = 148 required spaces
74 (off street spaces) + 148 (Garage spaces + driveway spaces) = 222 proposed spaces
12. No construction within 100 y. flood plain is proposed.
13. All Tracts will be dedicated to a residential H.O.A. with an easement to Semineau County
14. No accessory structures will be permitted on the lots.
15. Fire flow shall be provided according to the following:
 - a. Single-Family: 500 gpm @ 70 psi
 - b. Multi-Family (2 stories or less): 1,500gpm @ 70 psi
 - c. Commercial/Recreational: N/A
16. Water and Sanitary Sewer services will be provided by City of Okaloosa.
17. The site has water and force main running along Alafaya Trail.
18. Blue reflectors to be installed in streets adjacent to all fire hydrant as per Semineau County Land Development Regulations
19. All traffic markings shall be in accordance with Semineau County and FDOT roadway specifications
20. Project to be constructed in one phase.
21. Sidewalks will be provided internal to the subdivisions.
22. Offsite Roadway Improvements to Red Bay Road will be made from S.R. 434 line to entrance located sidewalk to the north side of the road.
23. On Site Wetland areas will be placed in conservation, unless impact is proposed.
24. The proposed 871 station will be owned and maintained by the H.O.A.
25. All remaining setbacks will be owned and maintained by the H.O.A. with an easement to Semineau County

TRACT TABLE				
TRACT	AREA (AC.)	TYPE	OWNERSHIP	EASEMENT
A	0.21	OPEN SPACE	HQA	
B	1.95	OPEN SPACE/RETENTION	HQA	
C	3.80	RIGHT-OF-WAY	HQA	
D	0.12	CONSERVATION	HQA	
E	0.01	LIFT STATION TRACT	HQA	
F	2.3	UPPER PRESERVATION	HQA	
G	0.12	OPEN SPACE	HQA	
H	0.09	OPEN SPACE	HQA	
TOTAL	10.73			
















EXISTING VEGETATION TO REMAIN
WHERE POSSIBLE TO PROVIDE
A NATURAL BUFFER



EAST RED BUG ROAD CROSS SECTION
N.T.S.

A parcel of land situated within Sect.
Range 31 East, Seminole County, Flot.
particularly described as follows:

COMMENCING at a 5° 5' S Conerley monument found and
ascended as marking the East ¼ Corner of Section 21, Township 21
South, Range 31 East, Tenth North 00 Degrees 36 Minutes 00
Seconds East along the East line of said section a distance of 25.00
feet to the POINT OF BEGINNING, thence South 90 Degrees 00
Minutes 00 Seconds East along the Right-of-Way line of Red Bug Lake
Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance
of 963.39 feet, thence North 00 Degrees 00 Minutes 00 Seconds West,
a distance of 478.83 feet, thence North 64 Degrees 46 Minutes 30
Seconds East, a distance of 100.00 feet, thence South 90 Degrees 00
Minutes 00 Seconds East, a distance of 191.42 feet, thence North
00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59 feet,
thence South 89 Degrees 25 Minutes, 32 Seconds East, a distance of
419.00 feet, thence South 00 Degrees 36 Minutes, 00 Seconds East,
a distance of 101.21 feet, 426.79 feet to the POINT OF BEGINNING,
described tract containing 20.12 Acres, (or 87/6, 42 3/4 Ac. Flt), more
or less.

SOIL NUMBER	SOIL NAME	HYDRO. GROUP
	BAGSBERG/SANDHILLSPRINTOWN	S&O
	HYAKKA/VEARGALLIE FRI SANDS	S&O
	POCAHONT. LUCHE FINE SANDS	A
	TAVANET - MSL.HOPPER FINE SANDS	A
		
		
		
		
		
		
		
		
		
		
		

**Miller
Einhouse
Rymer &
Boyd**

350 Franklin Place, Suite 100
Madison, Florida 33703

Community Planning
Project Management
Civil Engineering
Landscape Architecture

250 East Main Street, Suite 1
Kalamazoo, Florida 34141

1	COOPER DEVELOPMENT, LLC	GEORGE L. BUNNETT, P.E.
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COOPER PROPERTY
SEMINOLE COUNTY, FLORIDA

1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 26

BIOGRAPHICAL SKETCH

504 to 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269,

AN ORDINANCE AMENDING, PURSUANT TO THE LAND DEVELOPMENT CODE OF SEMINOLE COUNTY, THE ZONING CLASSIFICATIONS ASSIGNED TO CERTAIN PROPERTY LOCATED IN SEMINOLE COUNTY (LENGTHY LEGAL DESCRIPTION ATTACHED AS EXHIBIT); ASSIGNING CERTAIN PROPERTY CURRENTLY ASSIGNED THE A-1 (AGRICULTURAL) ZONING CLASSIFICATION THE R-3A (MULTIPLE FAMILY DWELLING) ZONING CLASSIFICATION; PROVIDING FOR LEGISLATIVE FINDINGS; PROVIDING FOR SEVERABILITY; PROVIDING FOR CODIFICATION; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SEMINOLE COUNTY, FLORIDA:

Section 1. LEGISLATIVE FINDINGS.

(a) The Board of County Commissioners hereby adopts and incorporates into this Ordinance as legislative findings the contents of the documents titled "Red Bug Road / Cooper Townhomes."

(b) The Board hereby determines that the economic impact statement referred to by the Seminole County Home Rule Charter is unnecessary and waived as to this Ordinance.

Section 2. REZONINGS. The zoning classification assigned to the following described property is changed from A-1 (Agriculture) to R-3A (Multiple Family Dwelling):

LEGAL DESCRIPTION ATTACHED EXHIBIT A

Section 3. CODIFICATION. It is the intention of the Board of County Commissioners that the provisions of this Ordinance shall not be codified.

Section 4. SEVERABILITY. If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, it is the intent of the Board of County Commissioners that the invalidity shall not affect other provisions or applications of this Ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared severable.

Section 5. EFFECTIVE DATE. A certified copy of this Ordinance shall be provided to the Florida Department of State by the Clerk of the Board of County Commissioners in accordance with Section 125.66, Florida Statutes. This Ordinance shall become effective upon the date of filing by the Department and recording of Development Order #4-23000003 in the official land records of Seminole County.

ENACTED this 11th day of January, 2005.

BOARD OF COUNTY COMMISSIONERS
SEMINOLE COUNTY, FLORIDA

By: _____

Chairman

EXHIBIT A

LEGAL DESCRIPTION

A parcel of land situated within Section 21, Township 21 South, Range 31 East, Seminole County, Florida. Said parcel being more particularly described as follows:

COMMENCING at a 5" x 5" Concrete monument found and accepted as marking the East $\frac{1}{4}$ Corner of Section 21, Township 21 South, Range 31 East; Thence North 00 Degrees 36 Minutes 00 Seconds East along the East line of said section a distance of 25.00' to the POINT OF BEGINNING of the parcel herein described;
thence along the southerly Right-of-Way line of Red Bug Lake Road, North 89 Degrees 23 Minutes 10 Seconds West, a distance of 963.39'; thence North 00 Degrees 00 Minutes 00 Seconds West, a distance of 478.03'; thence North 64 Degrees 46 Minutes 30 Seconds East, a distance of 379.70'; thence South 90 Degrees 00 Minutes 00 Seconds East, a distance of 191.42' thence North 00 Degrees 36 Minutes 00 Seconds East, a distance of 660.59'; thence South 89 Degrees 25 Minutes, 32 Seconds East, a distance of 419.00'; thence South 00 Degrees 36 Minutes, and 00 Seconds West, a distance of 1,314.26 feet, to the Point of Beginning; said described tract containing 20.12 Acres, (or 876,427 Sq. Ft.), more or less.